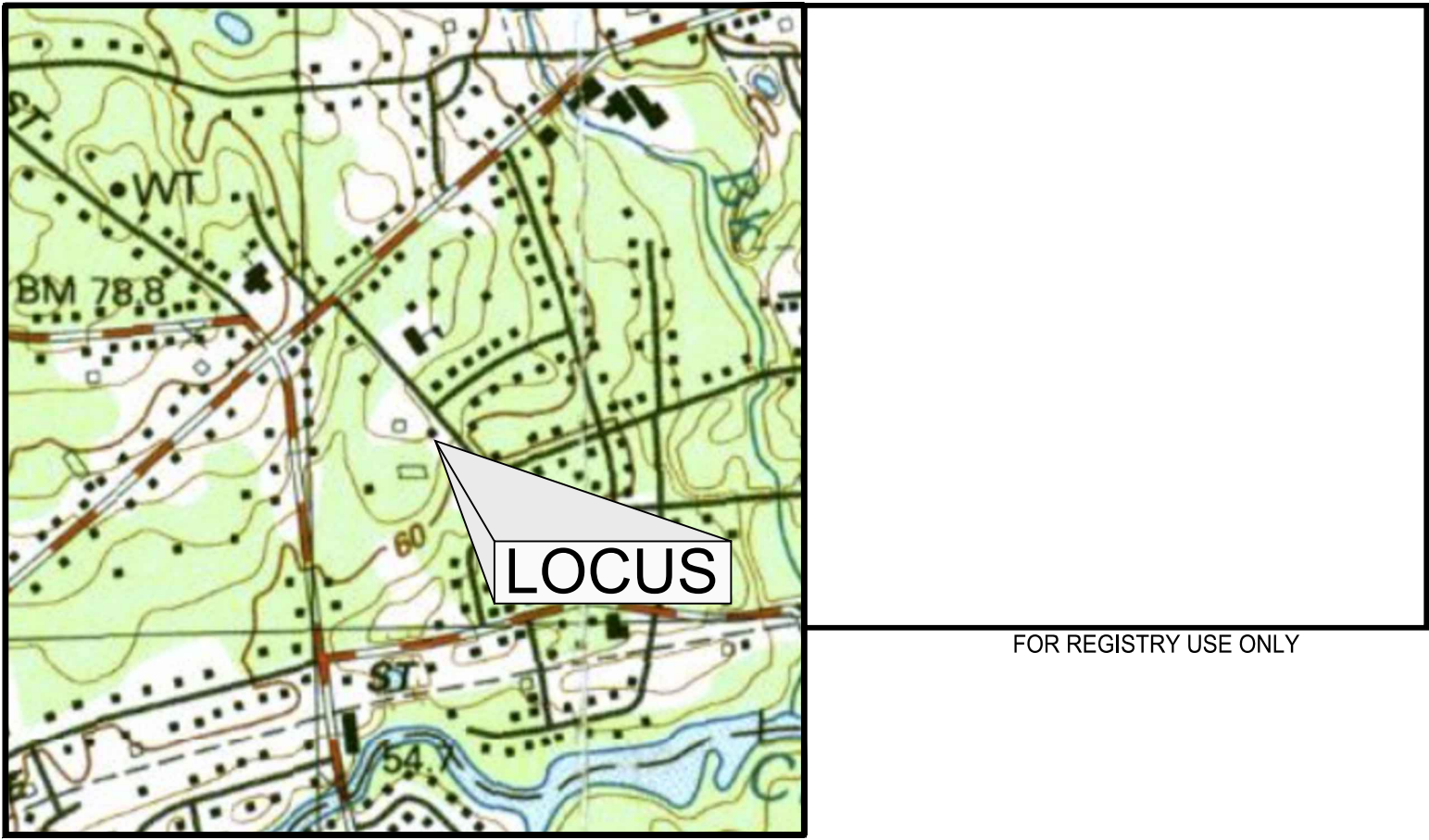


PROJECT:  
HIGH STREET MEADOWS  
21 HIGH STREET  
MEDWAY, MA 02053

MEDWAY ASSESSORS MAP 57 LOT 62  
NORFOLK REGISTRY BOOK 36435 PAGE 252

APPLICANT/OWNER:  
MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET  
MEDFIELD, MA 02052



LOCUS PLAN  
SCALE: 1"=1,000'

EXISTING PERMITS

- ZONING BOARD OF APPEALS DECISION - SPECIAL PERMIT, 21 HIGH STREET, DATED APRIL 5, 2023.
- ORDER OF RESOURCE AREA DELINEATION, MASSDEP FILE NO. 216-0926, RECORDED 10-29-2019 (EXPIRED)
- ENFORCEMENT ORDER ISSUED JUNE 3, 2019.

ZONING TABLE

AGRICULTURAL RESIDENTIAL II(ARIII)

	REQUIRED	PROPOSED	NOTES
MIN. LOT AREA	30,000 SF	164,173 SF	
MIN. LOT FRONTAGE	150 FT	290.9 FT	
SETBACKS:			
FRONT	35 FT	22.1 FT	EXISTING NON-CONFORMING
SIDE	15 FT	15 FT	
REAR	15 FT	275 FT	
MAX. HEIGHT	35 FT	35 FT	
MAX. LOT COVERAGE	30%	5.9%	
MAX. IMPERVIOUS COVERAGE	40%	12.4%	
MIN. OPEN SPACE	NA	NA	
PARKING:			
RESIDENTIAL	23	23	2 PER UNIT + 1 PER 2 UNITS
EV SPACES	1	1	PROVIDED IN GARAGE
EV READY	5	5	PROVIDED IN GARAGES

LIST OF WAIVERS

WAIVER NO.	SECTION	REQUIREMENT	REQUESTED CHANGE
1	ARTICLE IV s.204-3.F	DEVELOPMENT IMPACT STATEMENT	NOT APPLICABLE FOR SCALE OF PROJECT
2	ARTICLE IV s.204-5.D.18	PHOTOMETRIC PLAN	BUILDING ENTRY LIGHTING ONLY
3	ARTICLE IV s.204-5.D.12	PROVIDE ARCHITECTURAL ELEVATIONS	3D RENDERINGS OF ALL BUILDING SIDES PROVIDED
4	ARTICLE IV s.207-11.A.4	VERTICAL GRANITE CURB AT DRIVEWAY	NO CURB
5	ARTICLE IV s.207-11.B.3	24 FT MIN DRIVE AISLE	20 FT DRIVE AISLE
6	ARTICLE IV s.207-11.A.15	STORMWATER FLOW INTO R.O.W.	MINIMIZED, MS4 PERMIT WILL BE OBTAINED

DRAWING LIST:

SHEET #	TITLE
	EXISTING CONDITIONS PLAN
C100	SITE CONTEXT PLAN
C101	EROSION AND SEDIMENTATION CONTROL PLAN
C102	LAYOUT AND MATERIALS PLAN
C103	GRADING AND UTILITIES PLAN
C201	CONSTRUCTION DETAILS
C202	CONSTRUCTION DETAILS
C203	CONSTRUCTION DETAILS
L1	LANDSCAPE PLAN

ISSUED FOR MAJOR SITE PLAN REVIEW:  
FEBRUARY 25, 2025  
REVISED MAY 30, 2025

DATE SUBMITTED: \_\_\_\_\_  
DATE APPROVED: \_\_\_\_\_  
DATE SIGNED: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
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MEDWAY PLANNING BOARD  
COVENANTS TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD  
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE  
DATE \_\_\_\_\_

\_\_\_\_\_ TOWN CLERK, MEDWAY, MA

APPLICANT/OWNER  
MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET  
MEDFIELD, MA 02052

RECORD OWNER:  
MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET  
MEDFIELD, MA 02052

CIVIL ENGINEER  
PVI SITE DESIGN, LLC  
18 GLENDALE ROAD  
NORWOOD, MA 02062

LAND SURVEYOR  
COLONIAL ENGINEERING  
11 AWL STREET  
MEDWAY, MA 02053

**PVI**  
SITE DESIGN  
PVI Site Design, LLC  
Civil Engineering - Land Entitlements  
Master Planning - Project Management  
339-206-1030











1. WITHIN THE LIMIT OF THE WORK LINE AS NOTED ON THE SITE PREPARATION PLANS, REMOVE AND DISCARD ALL CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND CURBS UNLESS OTHERWISE NOTED.
2. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL BE INITIATED ON ANY LOCATION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
5. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
7. THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

1. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. CLEAR CUT, DEMOLISH, AND DISPOSE OF EXISTING SITE ELEMENTS NOT TO REMAIN.
3. PERFORM EARTHWORK TO BRING THE SITE TO DESIGN SUB-GRADE ELEVATIONS. STABILIZE ALL CUT AND FILL SLOPES IMMEDIATELY AFTER THEIR CONSTRUCTION.
4. CONSTRUCT BUILDING FOUNDATIONS.
5. INSTALL UTILITIES. GRAVITY DEPENDANT UTILITIES (I.E. SEWER, DRAIN) SHALL BE INSTALLED FIRST. WATER LINES, ELECTRICAL CONDUIT AND GAS SHALL BE INSTALLED AROUND THE GRAVITY DEPENDANT UTILITIES.
6. FINISH GRADE AND STABILIZE ALL SURFACE DRAINAGE BMP'S (RAIN GARDENS, SWALES, ETC.).
7. GRADE AND GRAVEL ALL PAVED AREAS. ALL PROPOSED PAVED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER FINE GRADING.
8. BEGIN ALL PERMANENT AND TEMPORARY SEEDING AND MULCHING.
9. FINISH PAVING ALL HARD SURFACE AREAS.
10. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
11. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN LANDSCAPED AREAS ARE MULCHED OR HAVE AT LEAST A 70% COVERAGE OF GRASS PER THE LANDSCAPE DRAWINGS.

1. SEDIMENT TRAPS SHALL BE INSTALLED AT ALL DRAINAGE STRUCTURES. PERIMETER EROSION CONTROLS/COMPOST SOCKS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
2. SEDIMENT TRAPS SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OF RECORD BEFORE CONSTRUCTION CAN START.
3. COMPOST SOCKS AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY WHEN INSTALLED.
4. THE UNDERSIDE OF COMPOST SOCK SHOULD BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.
5. STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL:VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET, OR RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
6. CLEAN OUT CATCH BASINS, DRAIN MANHOLES, STORM DRAIN PIPES, AND DETENTION BASINS AFTER COMPLETION OF CONSTRUCTION.
7. IF USED, THE BOTTOM OF SEDIMENTATION BASINS SHALL BE PERIODICALLY CLEANED PER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
8. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, CONTRACTOR TO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AT THE OWNER'S REPRESENTATIVE'S DIRECTION.
9. AFTER THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES, CONTRACTOR TO GRADE AND SEED AREA OF TEMPORARY EROSION CONTROL MEASURE.
10. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
11. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES.

REPORTS SHALL BE SUBMITTED BI-WEEKLY TO THE PERMITTING AUTHORITY AND AFTER ANY STORM EVENT RESULTING IN 0.25 INCHES OF PRECIPITATION OR MORE WITHIN TWENTY-FOUR HOURS.

PROPERTY LINE

PERIMETER EROSION CONTROLS

EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION

EXISTING TREE TO BE REMOVED


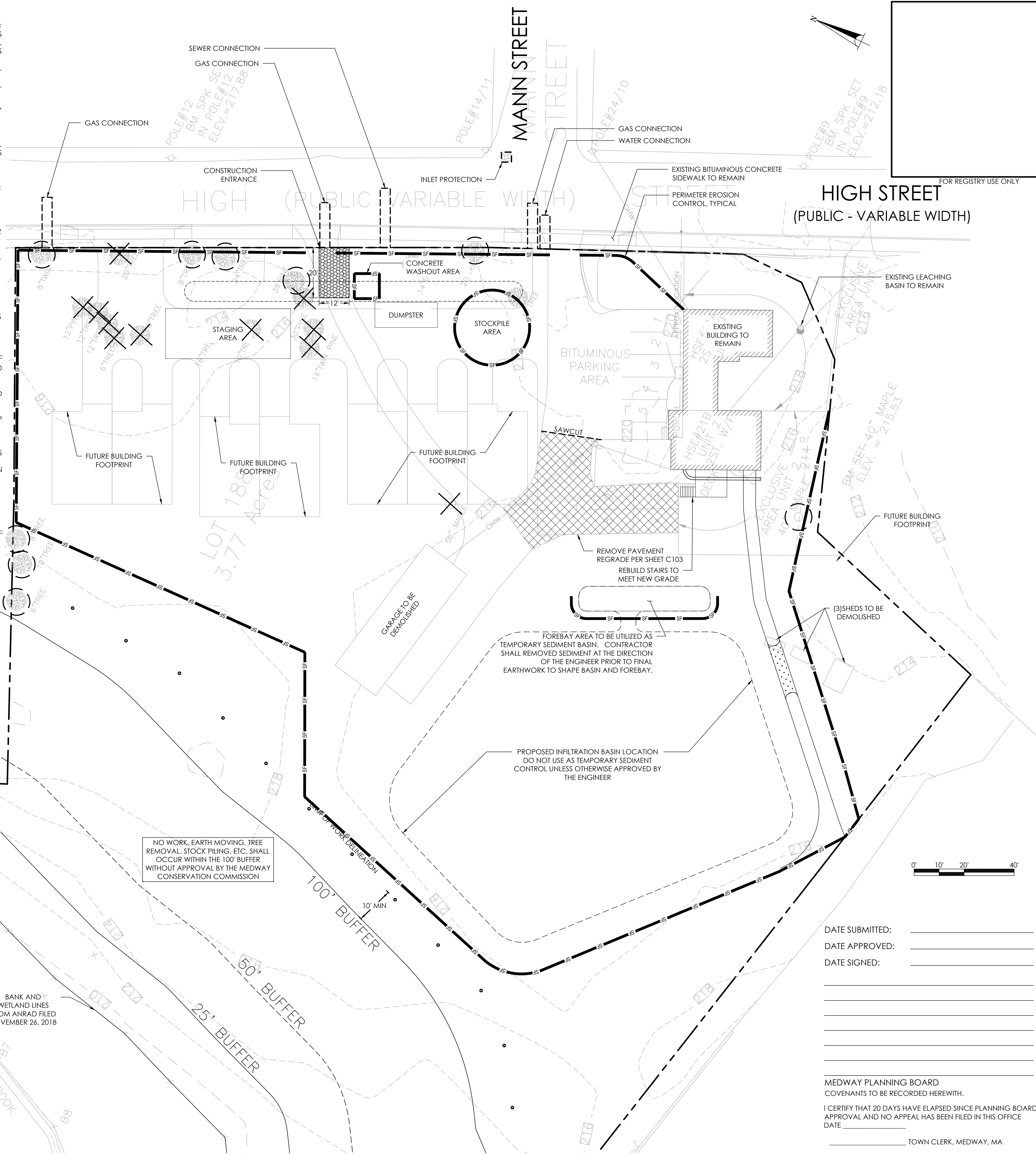
CONSTRUCTION ENTRANCE

1 TREES TO BE REMOVED (15" DBH OR LARGER) WITHIN SETBACK:  
 20" TREE \_\_\_\_\_  
 SUBTOTAL TREE CALIPER: 20" (1 TREES)

PINE TREES TO BE REMOVED  
 30" PINE \_\_\_\_\_  
 SUBTOTAL PINE CALIPER: 30" (1 TREES)

TOTAL TO BE REMOVED: 50" CALIPER TO BE REMOVED

REPLICATION PER 20 \$207-19.F: 25" CALIPER REQUIRED FOR REPLACEMENT.  
 (SEE LANDSCAPE PLAN FOR REPLACEMENT PLANTING DETAILS)

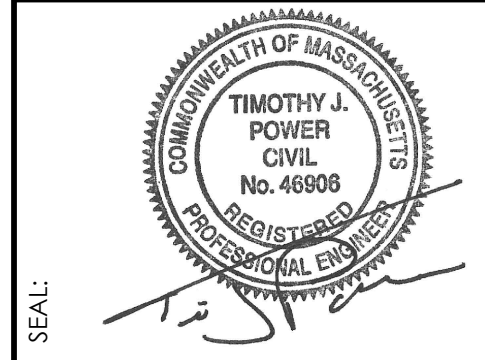


**PVI**  
— SITE DESIGN

PVI Site Design, LLC  
Civil Engineering - Land Entitlements  
Master Planning - Project Management  
339.206-1030

PROJECT:	<p><b>HIGH STREET MEADOWS</b></p> <p>21 HIGH STREET, MEDWAY, MA</p>
CLIENT / APPLICANT:	<p>MEDWAY DEVELOPMENT, LLC</p> <p>383 MAIN STREET, MEDFIELD, MA 02052</p>

REVISIONS:
1: REVIEW COMMENTS MAY 30, 2025



**ISSUED FOR PERMIT**  
**FEBRUARY 25, 2025**

**SITE PREPARATION PLAN**

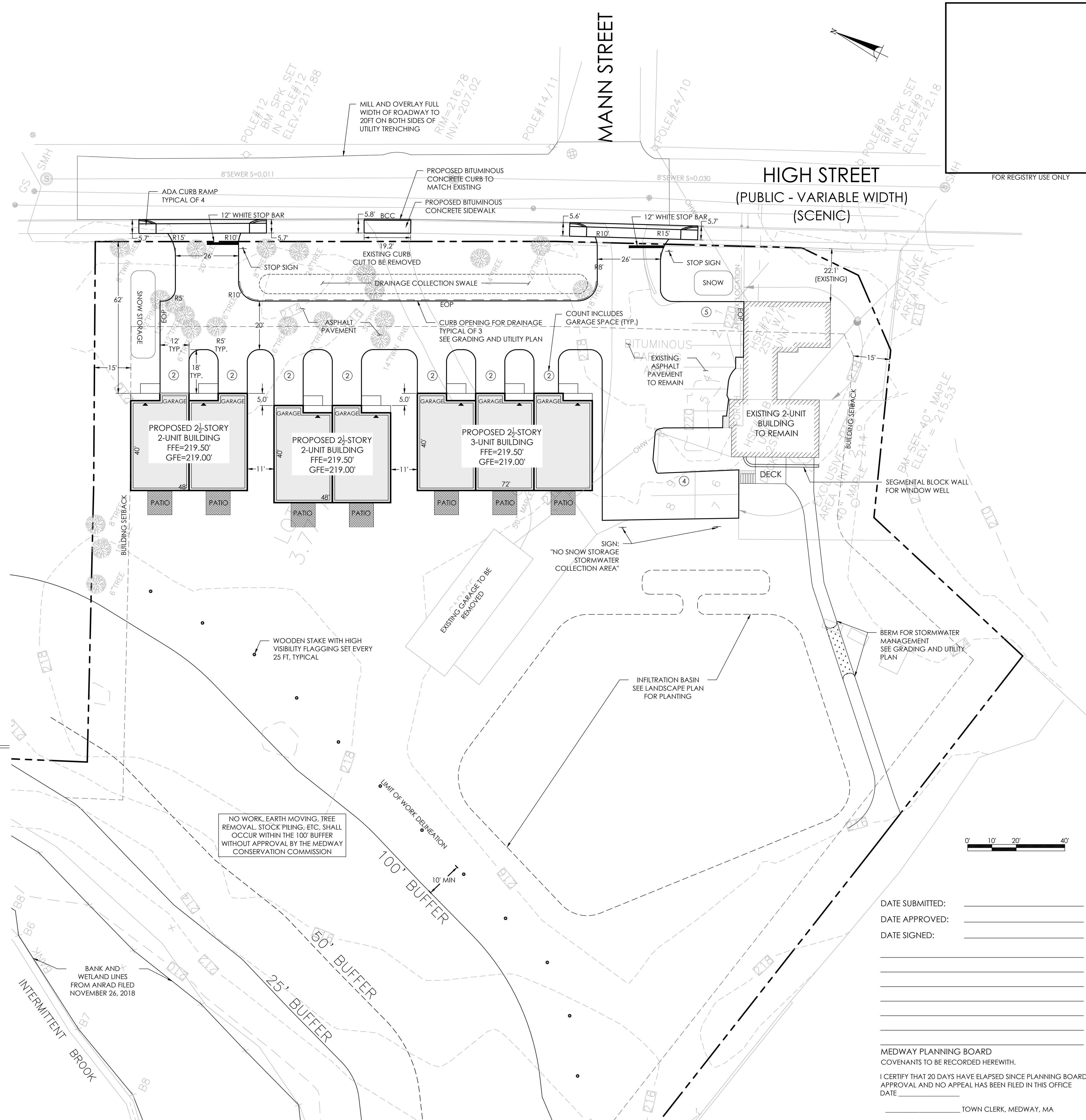
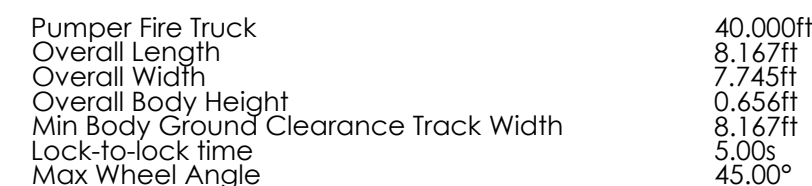
SCALE:	1"=20'
JOB NO:	23-023
FILE:	23-023-EROS.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	

**C101**

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY COLONIAL ENGINEERING, INC.
2. WETLAND DELINEATION BY APPLIED ECOLOGICAL SCIENCES.
3. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
4. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. PRIOR TO THE START OF ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG-SAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
5. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
6. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
8. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.

1. ALL WORK CONDUCTED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
2. ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
3. SIDEWALKS AND DRIVEWAYS SHALL COMPLY WITH THE MAAB AND ADA ACCESSIBILITY GUIDELINES. IF FIELD CONDITIONS MAKE IT IMPOSSIBLE TO COMPLY WITH THESE GUIDELINES AND REGULATIONS A WAIVER FROM THE MAAB WILL BE SOUGHT.
4. THE FOLLOWING CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
  - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB AT GUTTER LINE.
  - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
  - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

PROPERTY LINE  
BUILDING SETBACK  
EXISTING BUILDING  
PROPOSED BUILDING  
EOP  
EDGE OF PAVEMENT  
BCC  
BITUMINOUS CONCRETE CURB  
ICC  
PRECAST CONCRETE CURB  
②  
PARKING COUNT  
PROPOSED BUILDING ENTRY POINT



DATE SUBMITTED: \_\_\_\_\_

DATE APPROVED: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

MEDWAY PLANNING BOARD  
COVENANTS TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD  
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE  
DATE \_\_\_\_\_

TOWN CLERK, MEDWAY, MA

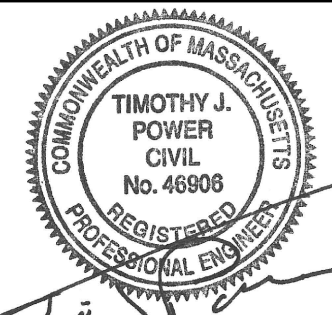
CONSULTANT:



OBJECT: **HIGH STREET MEADOWS**  
21 HIGH STREET, MEDWAY, MA

AGENT / APPLICANT:  
MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET, MEDFIELD, MA 02052

REVISIONS:  
1: REVIEW COMMENTS MAY 30, 2025



ISSUED FOR PERMIT  
FEBRUARY 25, 2025

## LAYOUT AND MATERIALS PLAN

SCALE:	1"=20'
JOB NO:	23-023
FILE:	23-023-LM.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	

C102



	PROPERTY LINE
	LIMIT OF DISTURBANCE
	EXISTING BUILDING
	EXISTING WATER SERVICE
	EXISTING SEWER SERVICE
	EXISTING CONTOUR LINE
	PROPOSED BUILDING
	PROPOSED CONTOUR MAJOR LINE
	PROPOSED CONTOUR MINOR LINE
	PROPOSED SPOT GRADE
	PROPOSED DOMESTIC WATER
	PROPOSED FIRE PROTECTION
	PROPOSED VALVE
	PROPOSED SEWER
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC DISTRIBUTION
	PROPOSED GAS
	PROPOSED DETENTION SYSTEM LIMITS
	PROPOSED DRAIN LINE

DEED: BOOK 36435 / PAGE 252

OWNER: MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET  
MEDFIELD, MA 02052

---

# LAND DISTURBANCE

---

64,700± SQUARE FEET

CUT: 445 CUBIC YARDS±  
 FILL: 2,329 CUBIC YARDS±  
 NET: 1,884 CUBIC YARDS FILL

**CALCULATION NOTE:**  
EARTHWORK QUANTITIES COMPARE EXISTING GRADE TO FINISH GRADE AND DOES NOT ACCOUNT FOR SUBGRADE MATERIALS.

**SOIL IMPORT NOTE:**  
AT LEAST SEVEN DAYS BEFORE ANY FILL IN EXCESS OF 500 CUBIC YARDS IS BROUGHT ONTO THE PROPERTY, THE SOURCE (ORIGIN) OF THE FILL INCLUDING THE ADDRESS, OWNER AND NATURE OF THE SITE AND ASSOCIATED CHEMICAL TESTING OF SUCH FILL SHALL BE PROVIDED TO THE TOWN FOR THE TOWN'S CONSULTING ENGINEER TO REVIEW PRIOR TO PLACEMENT AT THE SITE.

1. CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE [CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.] THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
3. THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
4. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ALL OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
5. THE CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
6. ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
7. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
8. REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
9. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL). FINAL DESIGN AND LOCATION OF THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANY PRIOR TO ANY UTILITY CONSTRUCTION.
10. ALL CEMENT UNDED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.0 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
11. CONTRACTOR SHALL PROVIDE ALL FITTINGS, BENDS, RESTRAINTS, THRUST BLOCKS, AND OTHER APPURTENANCES NECESSARY FOR INSTALLATION OF WATER SERVICE WHETHER SPECIFICALLY NOTED OR NOT.
12. PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
13. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW GRADES. SLOPES SHALL NOT BE ALLOWED.
14. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
15. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
16. ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
17. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
18. BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR BASIN.

STANDARD 3:  
TOTAL IMPERVIOUS AREA: 18,147 SF  
IMPERVIOUS AREA TO INFILTRATION: 16,671 SF  
% IMPERVIOUS AREA TO INFILTRATION: 92%

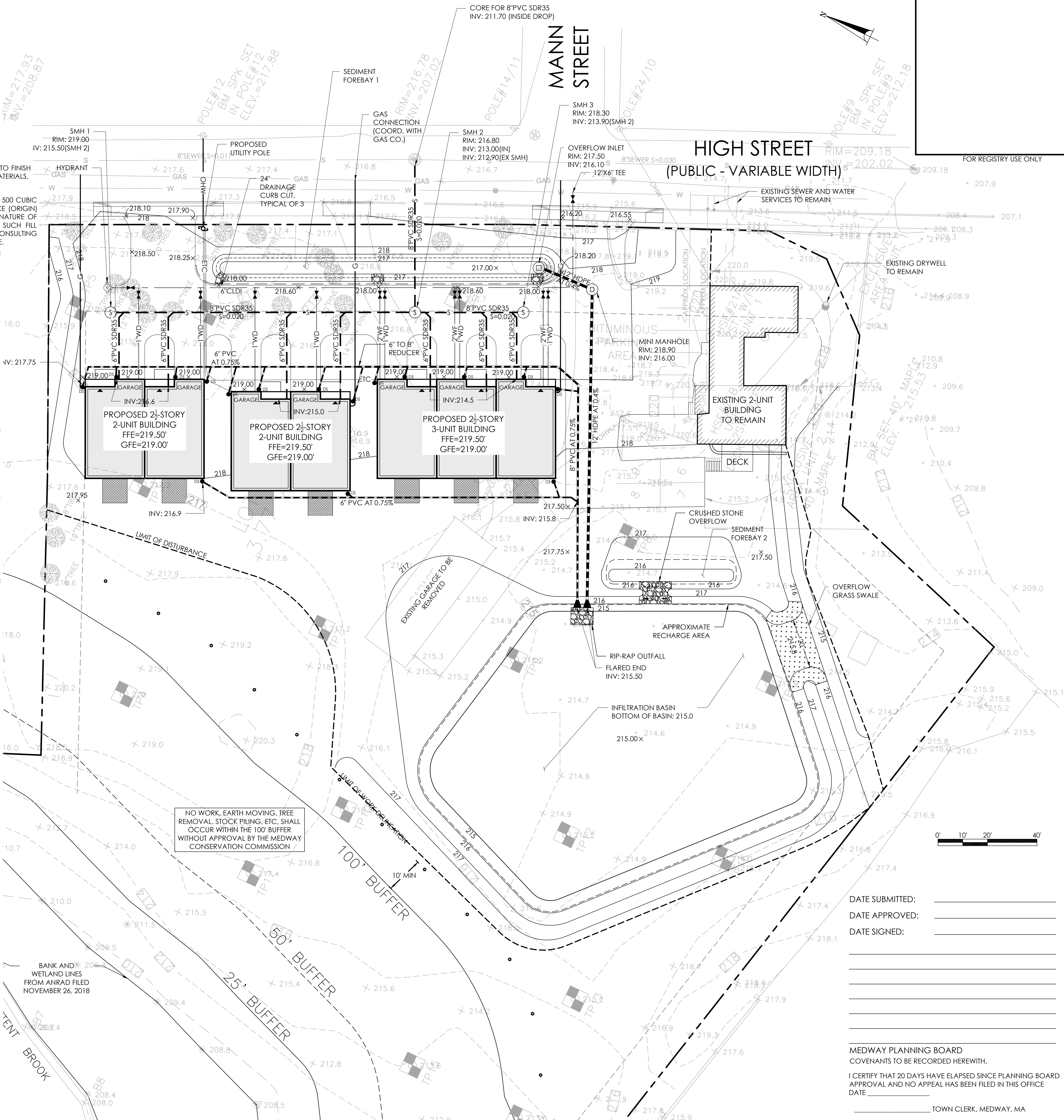
STANDARD 10:  
THE STORM WATER MANAGEMENT SYSTEM PROPOSED SHALL NOT BE CONNECTED TO THE WASTEWATER MANAGEMENT SYSTEM AND SHALL NOT BE CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE PER MASSACHUSETTS DEP STORM WATER STANDARD 10.

The figure contains four diagrams of test pits, each showing a vertical profile with three soil horizons (A, B, and C) and their respective depths. The diagrams are arranged in a 2x2 grid.

- TEST PIT #8 (Top Left):**
  - Horiz. A: 0" to 14" FINE SANDY LOAM
  - Horiz. B: 14" to 24" FINE SANDY LOAM
  - Horiz. C: 24" to 74" SILT LOAM
  - Depth markers: 215.0' (top), 208.8' (bottom)
  - ESHGW: -32" (MOTTLES) WATER: -70"
  - TEST PIT PERFORMED ON NOVEMBER 30,2018
- TEST PIT #11 (Top Right):**
  - Horiz. A: 0" to 11" FINE SANDY LOAM
  - Horiz. B: 11" to 23" FINE SANDY LOAM
  - Horiz. C: 23" to 72" SILT LOAM
  - Depth markers: 214.9' (top), 208.9' (bottom)
  - ESHGW: -25" (MOTTLES) WATER: NOT REPORTED
  - TEST PIT PERFORMED ON NOVEMBER 30,2018
- TEST PIT #9 (Bottom Left):**
  - Horiz. A: 0" to 9" FINE SANDY LOAM
  - Horiz. B: 9" to 24" FINE SANDY LOAM
  - Horiz. C: 24" to 77" SILT LOAM
  - Depth markers: 215.2' (top), 208.6' (bottom)
  - ESHGW: -27" (MOTTLES) WATER: -73"
  - TEST PIT PERFORMED ON NOVEMBER 30,2018
- TEST PIT #12 (Bottom Right):**
  - Horiz. A: 0" to 12" FINE SANDY LOAM
  - Horiz. B: 12" to 26" FINE SANDY LOAM
  - Horiz. C: 26" to 75" SANDY LOAM
  - Depth markers: 215.2' (top), 208.9' (bottom)
  - ESHGW: -27" (MOTTLES) WATER: -72"
  - TEST PIT PERFORMED ON NOVEMBER 30,2018

1 TEST PIT DATA WITHIN STORMWATER BASIN  
NOT TO SCALE

TEST PITS PERFORMED BY:  
MICHAEL A.CATALANO,JR., LSE#349 (EXPIRED)



DATE SUBMITTED: \_\_\_\_\_

DATE APPROVED: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

MEDWAY PLANNING BOARD  
COVENANTS TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD  
APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE  
DATE \_\_\_\_\_

TOWN CLERK, MEDWAY, MA

CONSULTANT:

OBJECT: **HIGH STREET MEADOWS**  
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT:

MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET, MEDFIELD, MA 02052

REVISIONS:

SEAL:

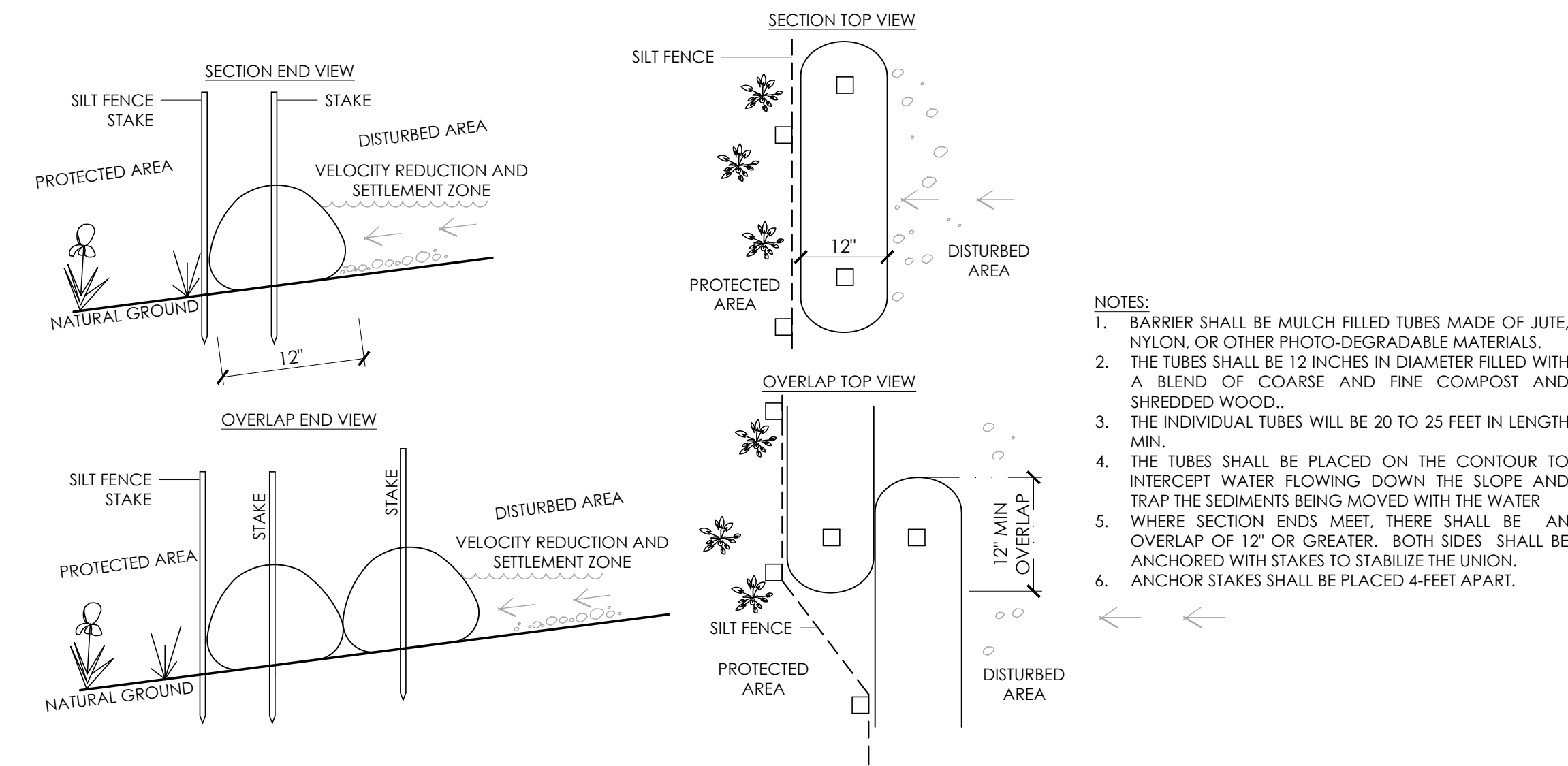


ISSUED FOR PERMIT  
FEBRUARY 25, 2025

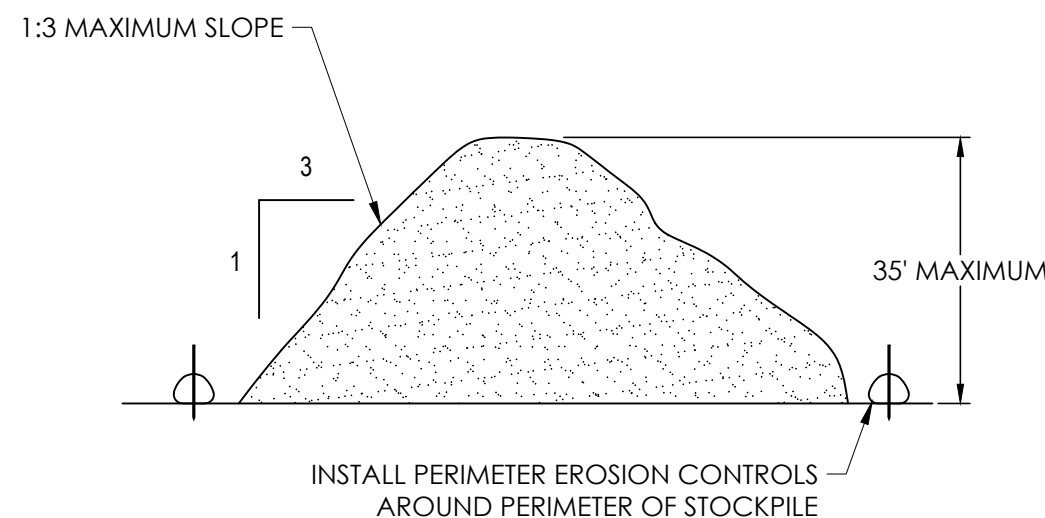
# GRADING AND UTILITIES PLAN

SCALE:	1"=20'
JOB NO:	23-023
FILE:	23-023-UT.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	

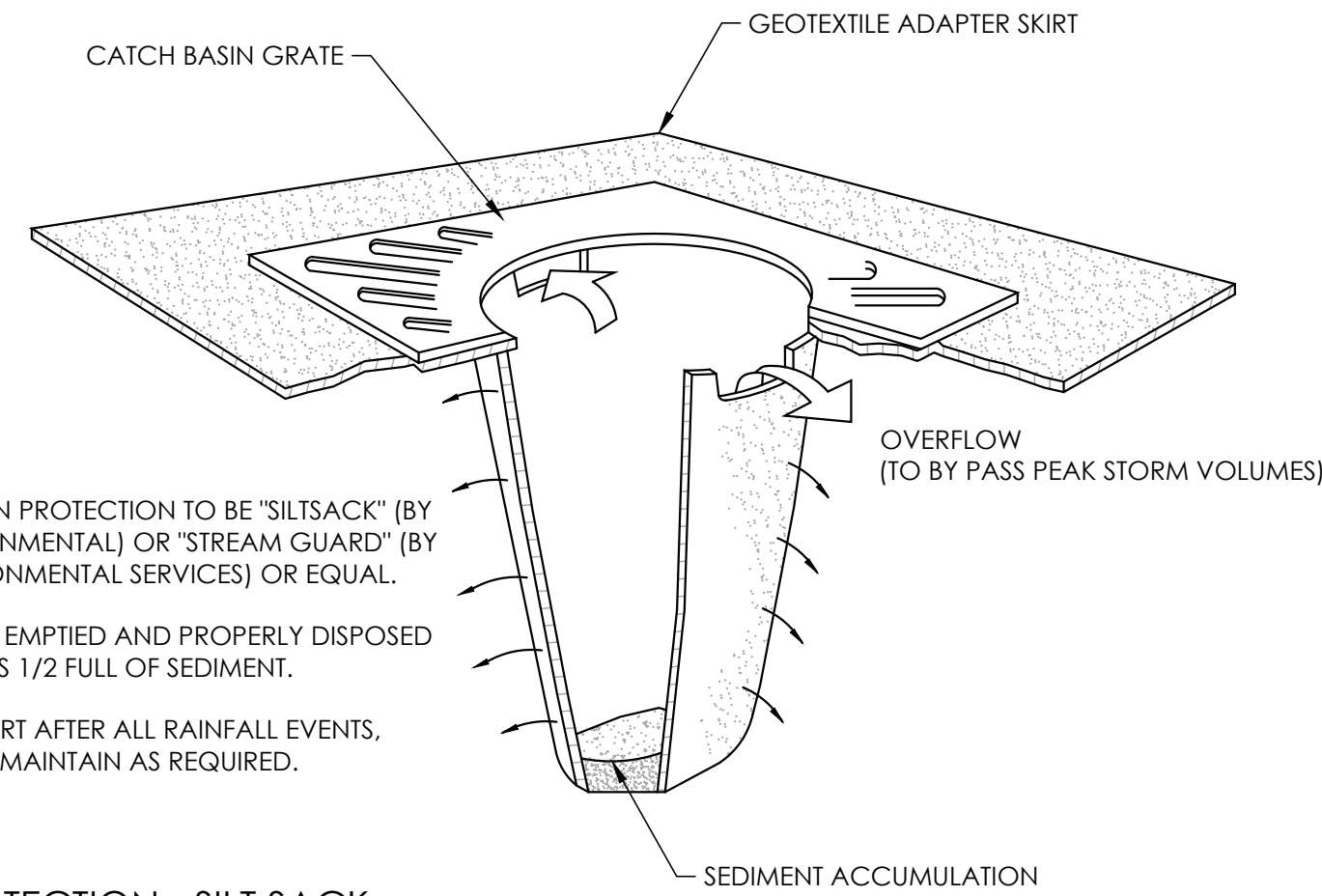
C103



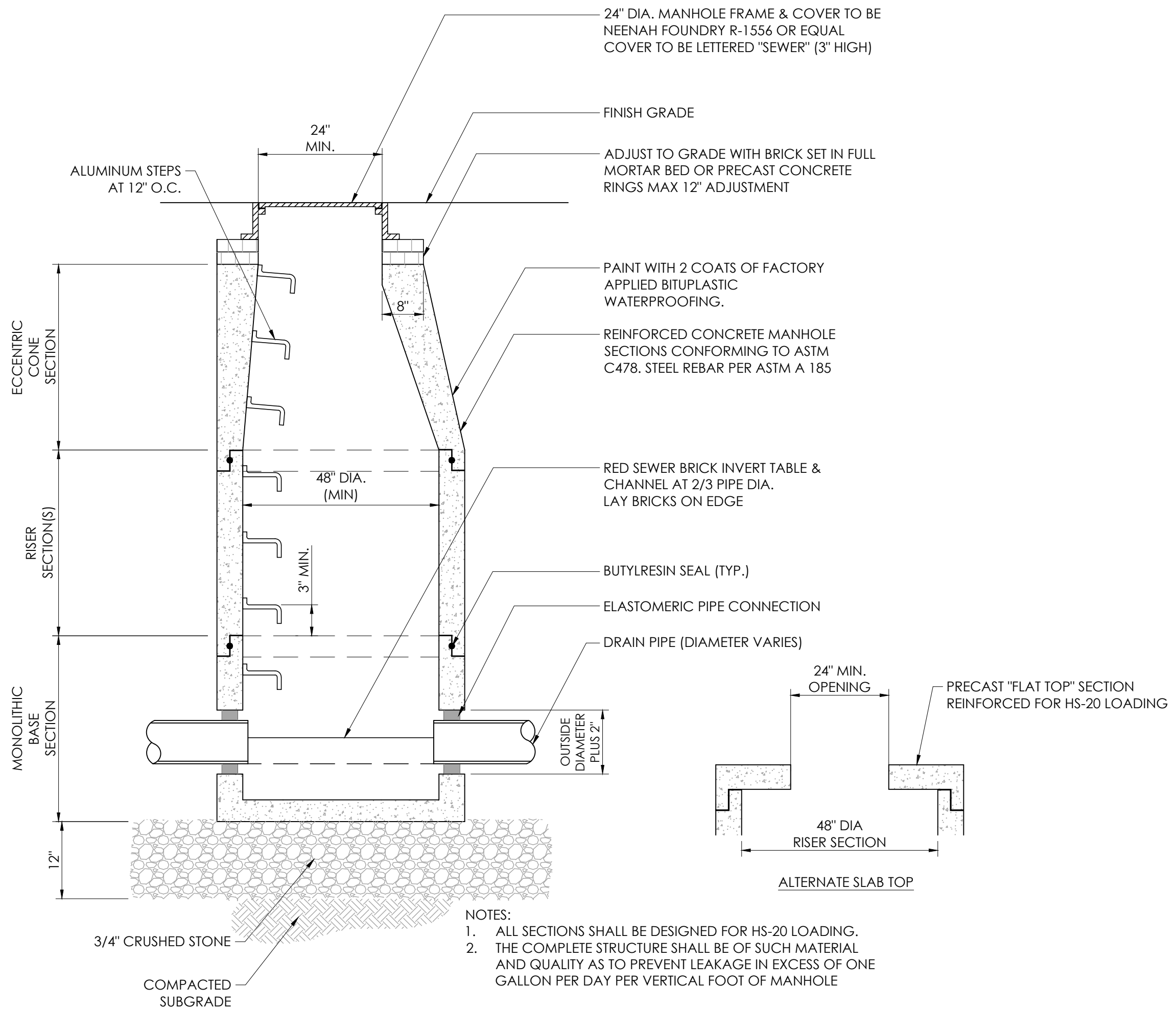
1 PERIMETER EROSION CONTROLS - 12" COMPOST SOCK WITH SILT FENCE  
NOT TO SCALE



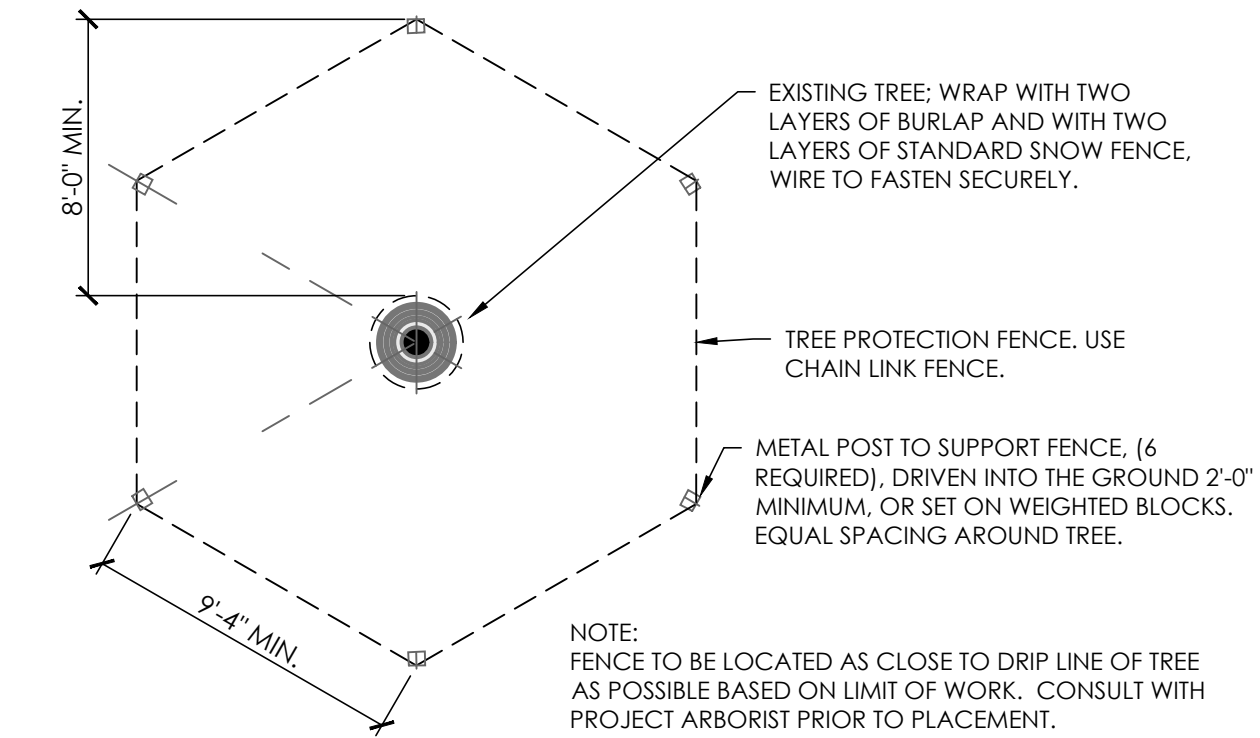
2 TEMPORARY STOCKPILE DETAIL  
NOT TO SCALE



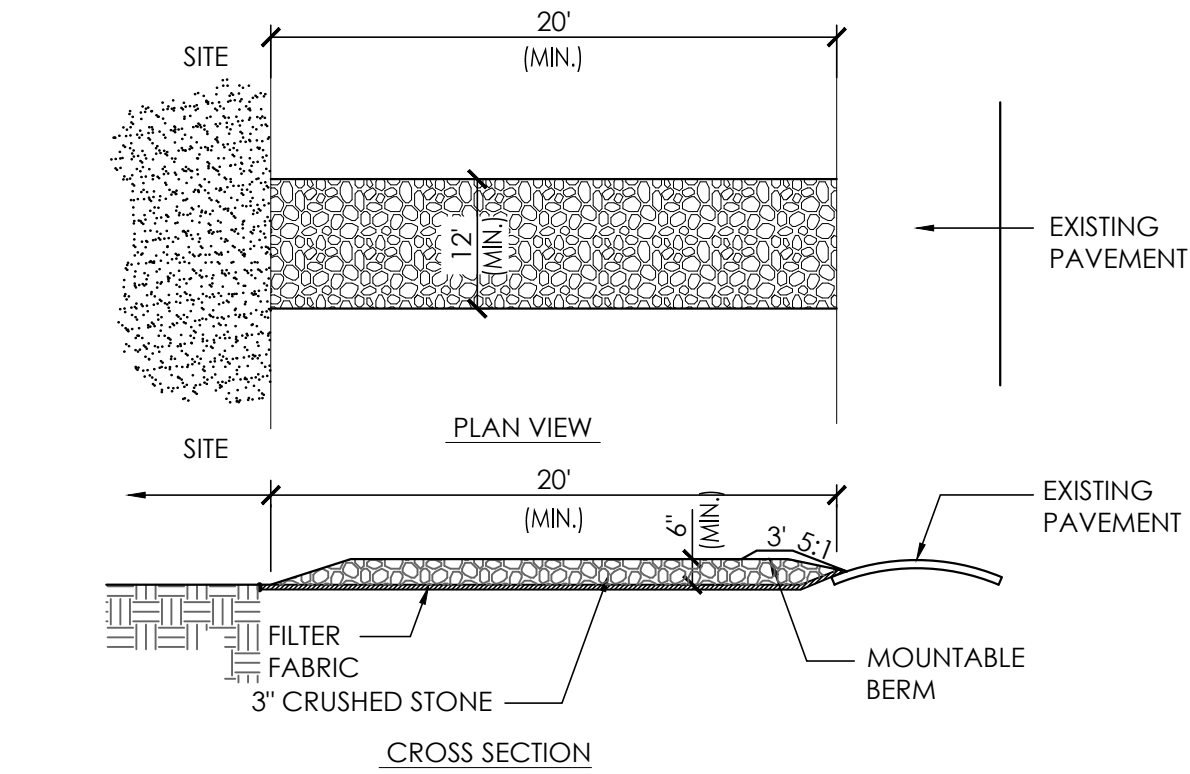
- NOTES:
- CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
  - INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
  - INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.



6 TYPICAL SEWER MANHOLE  
NOT TO SCALE



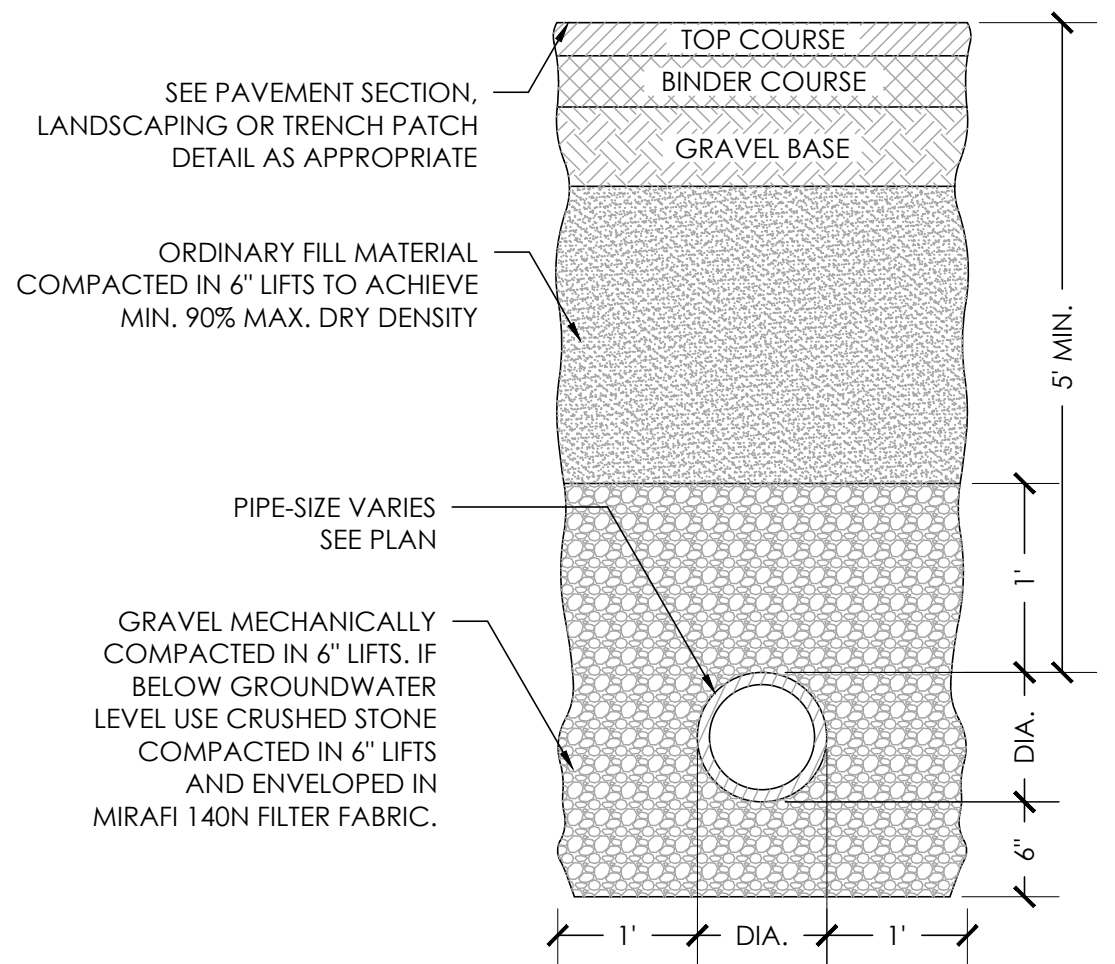
4 TREE PROTECTION  
NOT TO SCALE



- NOTES:
- ENTRANCE WIDTH SHALL BE A TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

5 CONSTRUCTION ENTRANCE  
NOT TO SCALE

NOTE:  
CONTRACTOR SHALL SEPARATE, REMOVE, AND DISPOSE OF UNSUITABLE MATERIAL DISCOVERED DURING THE EXCAVATION. EXISTING MATERIAL TO BE USED AS ORDINARY FILL SHALL BE DRY, FREE OF UNSUITABLE MATERIAL AND STONES OVER 6". CONTRACTOR SHALL IMPORT ADDITIONAL FILL AS NEEDED TO BACKFILL. FINAL DETERMINATION OF UNSUITABLE MATERIAL SHALL BE PER THE ENGINEER.



7 SEWER PIPE TRENCH  
NOT TO SCALE

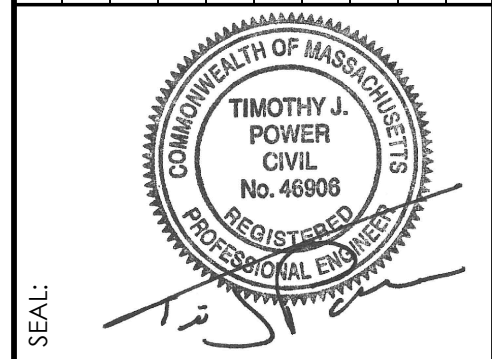
DATE SUBMITTED: \_\_\_\_\_  
DATE APPROVED: \_\_\_\_\_  
DATE SIGNED: \_\_\_\_\_

MEDWAY PLANNING BOARD  
COVENANTS TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE DATE \_\_\_\_\_

\_\_\_\_\_, TOWN CLERK, MEDWAY, MA

REVISIONS:
1. REVIEW COMMENTS MAY 30, 2025







**PVI** SITE DESIGN  
PVI Site Design, LLC  
Civil Engineering - Land Entitlements  
Master Planning - Project Management  
339-206-1030

FOR REGISTRY USE ONLY

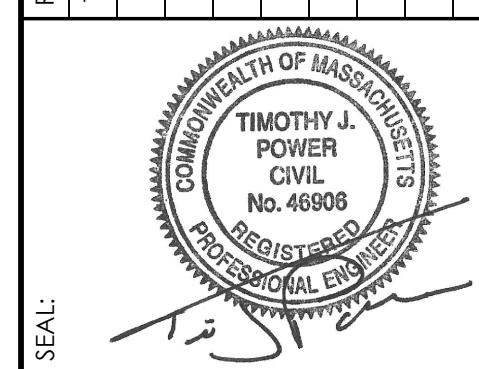
PROJECT: **HIGH STREET MEADOWS**  
21 HIGH STREET, MEDWAY, MA

CLIENT / APPLICANT: MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET, MEDFIELD, MA 02052

PROJECT:

REVISIONS:

1 : REVIEW COMMENTS MAY 30, 2025



SEAL:

ISSUED FOR PERMIT  
FEBRUARY 25, 2025

## CONSTRUCTION DETAILS

SCALE:	NOT TO SCALE
JOB NO:	23-023
FILE:	23-023-DET.dwg
DRAWN:	RLB
CHECKED:	TJP
SHEET NO:	

C202





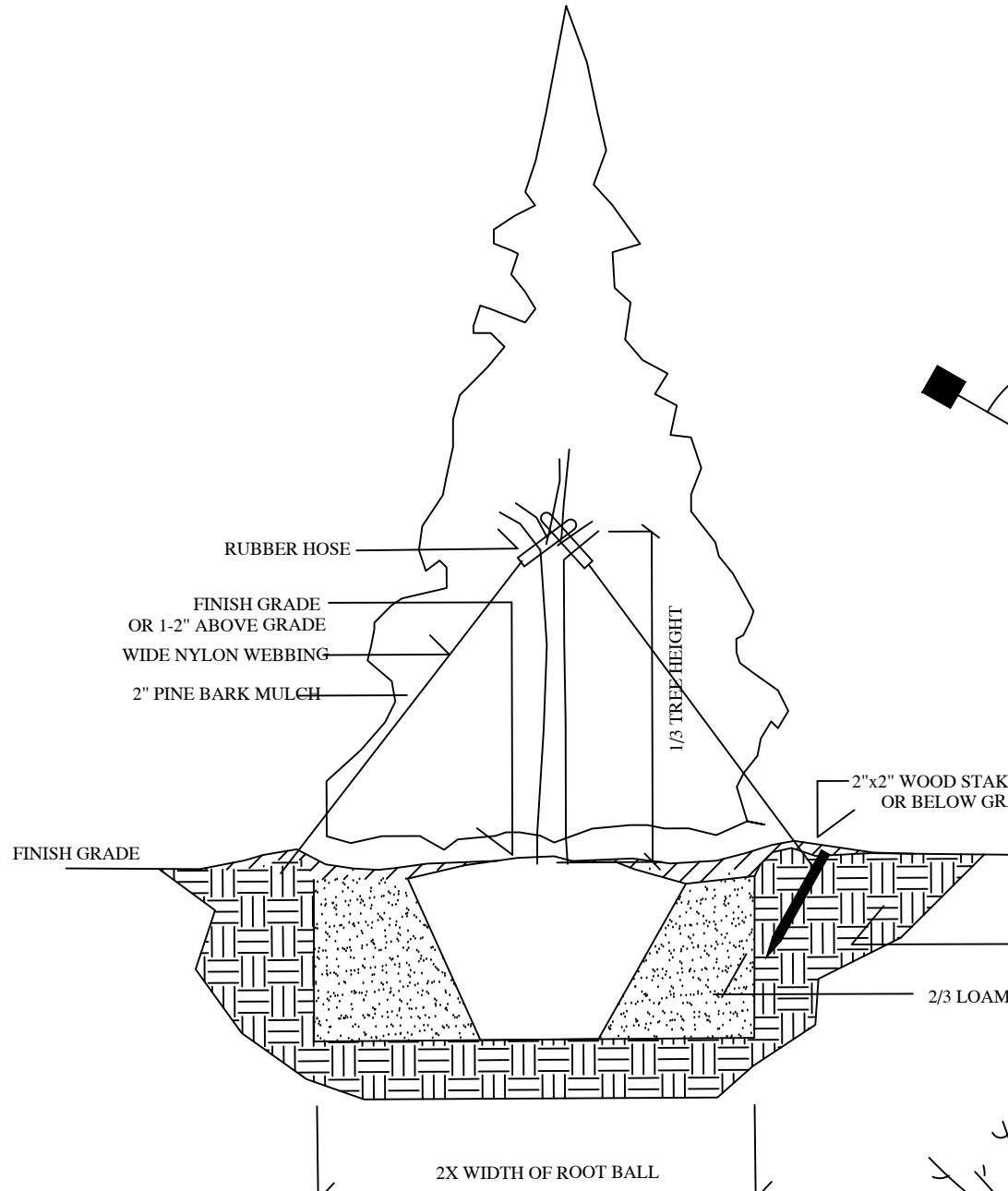


PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS AND EVERGREEN TREES			
2	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE	2-1/2" 3" CALIPER
3	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2-1/2" 3" CALIPER
3	CLADRASTIS LUTEA	YELLOWWOOD	2-1/2" 3" CALIPER
8	ABIES BLASAMEA	BALSAM FIR	8'-10' HEIGHT
6	JUNIPERUS VIRGINIANA	RED CEDAR	8'-10' HEIGHT
4	ILEX OPACA	AMERICAN HOLLY	7'-8' HEIGHT
2	BETULA NIGRA	RIVER BIRCH	12'-14' MULTI STEM
DECIDUOUS AND EVERGREEN SHRUBS			
12	HYDRANGEA ARBORESCENS	SMOOTH HYDRANGEA	2'-2-1/2"
20	ILEX GLABRA	INKBERRY	2'-2-1/2"
30	PANICUM VIRGATUM	SWITCH GRASS	3 GALLON POT
20	ROSA VIRGINIANA	VIRGINIA ROSE	2 GALLON POT
9	KALMIA LATIFOLIA	MOUNTAIN LAUREL	2-1/2-3"

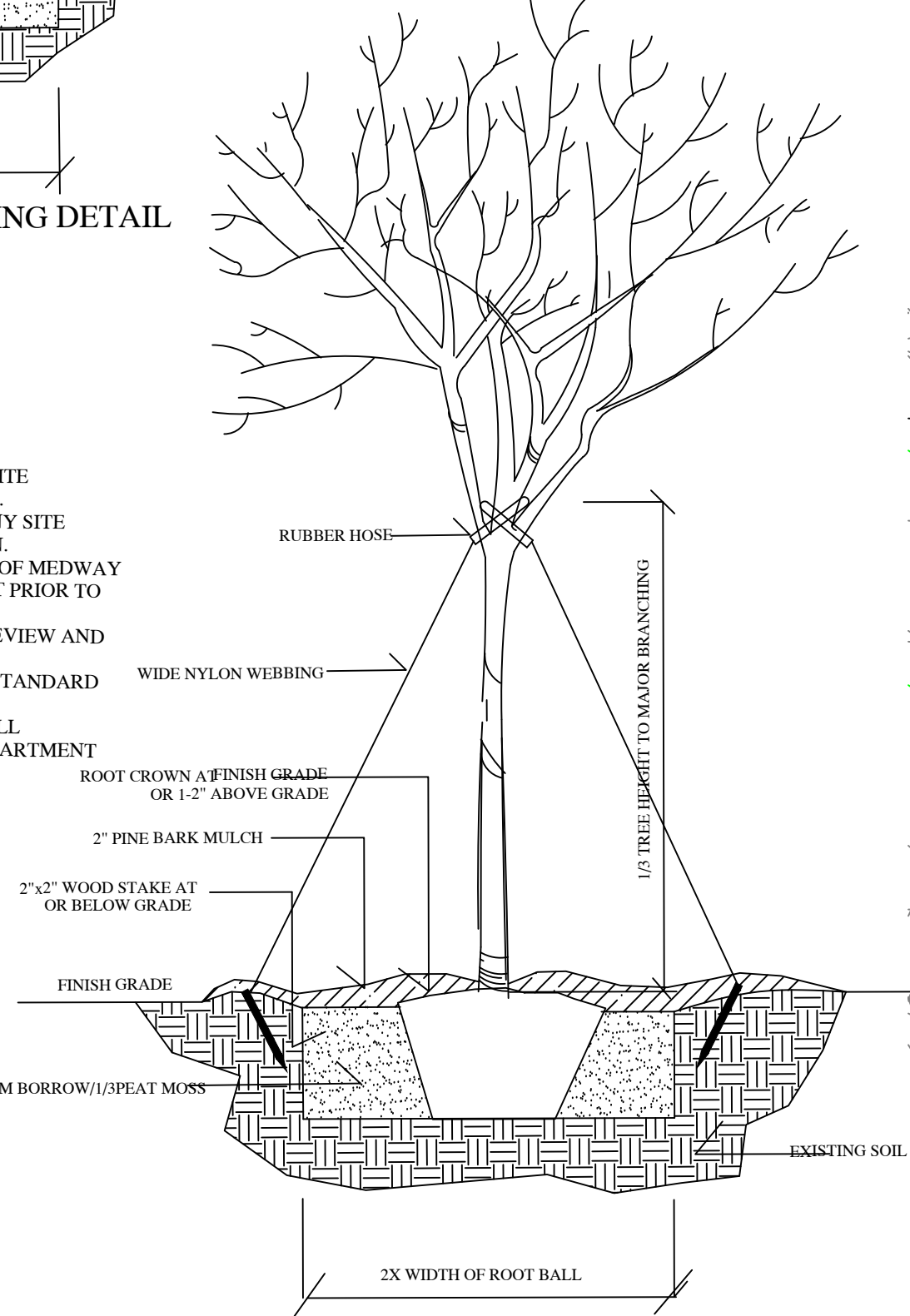


MATURE RED MAPLE

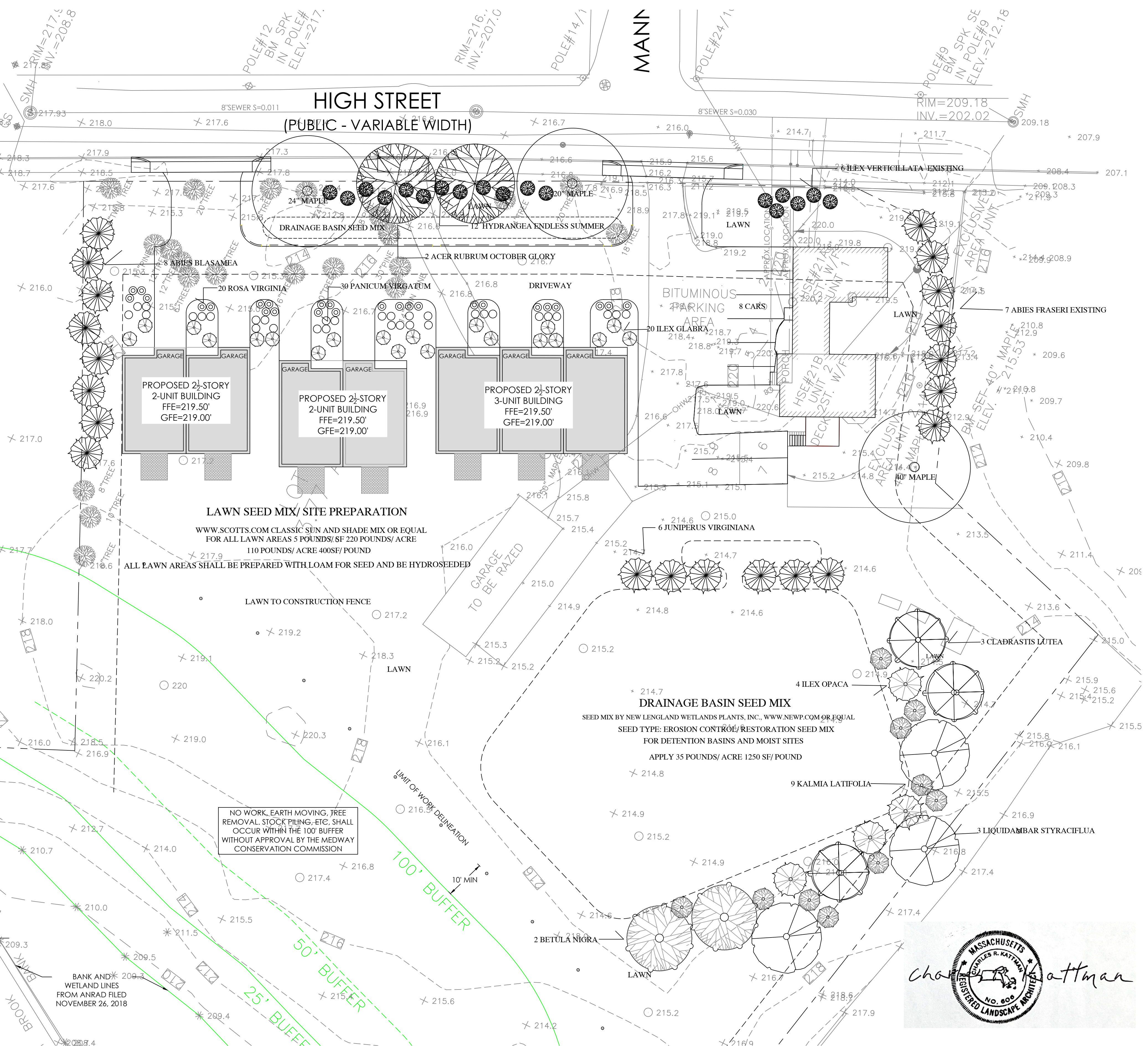


EVERGREEN TREE PLANTING DETAIL

- NOTES:
1. CONTRACTOR SHALL CONTACT DIG SAFE TO MARK ALL SITE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  2. CONTRACTOR SHALL REPLACE TO AS NEW CONDITION ANY SITE UTILITIES/AMENITIES DAMAGED DURING CONSTRUCTION.
  3. CONTRACTOR SHALL OBTAIN ALL PERMITS AND TOWN OF MEDWAY APPROVALS REQUIRED FOR THE WORK OF THE CONTRACT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  4. CONTRACTOR SHALL SUBMIT SAMPLE MATERIALS FOR REVIEW AND APPROVAL BY THE OWNERS PRIOR TO CONSTRUCTION.
  5. ALL PLANT MATERIALS SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK.
  6. ALL METHODS AND MATERIALS FOR CONSTRUCTION SHALL CONFORM TO COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
  7. ALL LAWN AREAS SHALL BE PREPARED FOR SEED AND BE HYDROSEEDED.



DECIDUOUS TREE PLANTING DETAIL



Project

HIGH STREET  
MEADOWS  
21 HIGH STREET  
MEDWAY  
MA 02053

MEDWAY  
DEVELOPMENT  
LLC  
383  
MAIN STREET  
MEDFIELD  
MA 02052

KATTMAN  
CORPORATION

Landscape Architects



Landscape Architecture  
Planning

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Mass. License # 606  
24 WATER STREET  
HOLLISTON, MASS. 01746  
508-893-6232  
richard.kattman@gmail.com  
www.crichardkattman.com

Sheet Title

LANDACPE  
PLAN

Scale: 1"=20'-0"

DATE: 06/03/2025

Revisions:

Sheet Number

L1